

CONTRACTOR VERIFICATION RESPONSIBILITIES

CONTRACTOR SHALL REPORT ANY DISCREPANCIES, OMISSIONS OR INCONSISTENCIES ON THE DRAWINGS TO THE ENGINEER FOR VERIFICATION BEFORE STARTING CONSTRUCTION. OWNER AND ENGINEER ARE NOT RESPONSIBLE FOR ANY ERRORS IN CONSTRUCTION WHERE SUCH DISCREPANCIES, OMISSIONS OR INCONSISTENCIES HAVE NOT BEEN PROPERLY REPORTED IN A TIMELY MANNER. CONTRACTOR TO FIELD VERIFY LOCATION, TYPE, AND SIZE OF EXISTING UTILITIES. CONTACT TEXAS ONE CALL AT 811 FOR EXISTING UTILITY LOCATIONS. CONTRACTOR TO FIELD VERIFY LOCATION, TYPE, AND SIZE OF ALL ONSITE EXISTING UTILITIES.

PLANT LIST

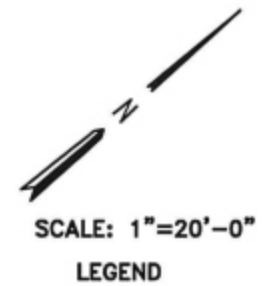
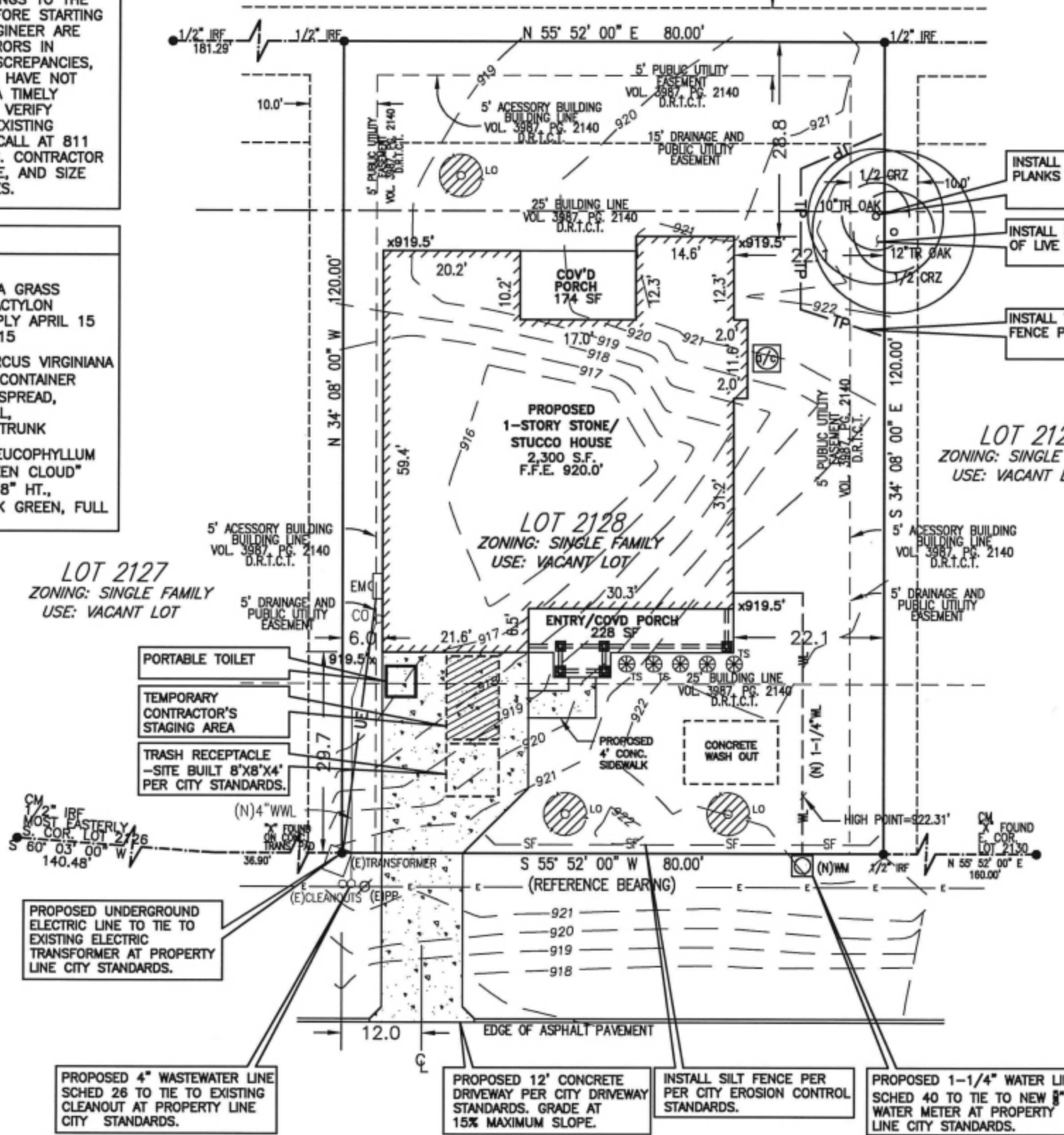
QUANTITY	DESCRIPTION
5,740 S.F.	COMMON BERMUDA GRASS - CYNODON DACTYLON
	HYDROMULCH, APPLY APRIL 15 AND SEPTEMBER 15
3 (NEW)	LIVE OAK - QUERCUS VIRGINIANA
1 (EX.-10")	2" CAL. 45 GAL. CONTAINER
4	9'-10" HT., 3.5' SPREAD, DARK GREEN, FULL, SINGLE STRAIGHT TRUNK
5	TEXAS SAGE - LEUCOPHYLLUM FRUTESCENS "GREEN CLOUD"
	5 GAL. 4' O.C., 18" HT., 18" SPREAD, DARK GREEN, FULL

LOT 2127
ZONING: SINGLE FAMILY
USE: VACANT LOT

LOT 2137
ZONING: SINGLE FAMILY
USE: VACANT LOT

LOT 2129
ZONING: SINGLE FAMILY
USE: VACANT LOT

LOT 2128
ZONING: SINGLE FAMILY
USE: VACANT LOT



LEGEND

BOUNDARY LINE	—
1/2" REBAR SET	○
RECORDED ON PLAT	()
BUILDING SETBACK	B.S.
PUBLIC UTILITY EASEMENT	P.U.E.
PROPOSED SPOT ELEVATION	x919.5'
EXISTING CONTOUR	— 918 —
PROPOSED CONTOUR	— (919) —
WOOD FENCE	— / / —
CHAIN LINK FENCE	— / / / / —
UTILITY POLE	PP
WATER METER	WM
GAS METER	G
SEWER MANHOLE	S
LIGHT POLE	⊙
CLEAN OUT	CO
ELECTRIC METER	EM
UNDERGROUND ELECTRIC	UE
DISCONNECT	D
FIRE HYDRANT	FH
GAS METER	G
SILT FENCE	SF
TREE PROTECTION FENCE	TP
EXISTING TREE	○

LEGAL DESCRIPTION

LOT 2128, HIGHLAND LAKES ESTATES SECTION TWO, VOLUME 54, PAGE 91, PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

- CITY NOTES**
- 1) THE APPLICANT AND ALL CONTRACTORS MUST ADHERE TO ALL NOTES ON THE PLAN REVIEW DOCUMENT ATTACHED. BY PROCEEDING FORWARD, YOU AGREE TO COMPLY WITH ALL CODES, REQUIREMENTS, AND ORDINANCES OF THE CITY OF LAGO VISTA.
 - 2) APPLICANTS AND THEIR DESIGNATED CONTRACTORS MUST SCHEDULE INSPECTION, UPLOAD DOCUMENTS, PAY FEES, AS WELL AS ANY AVAILABLE SERVICES THEIR ACCOUNT ON MY PERMITS NOW.
 - 3) OUTDOOR LIGHTING TO COMPLY WITH CITY DARK SKY REQUIREMENTS.
 - 4) ALL CONSTRUCTION TO COMPLY WITH 2015 CODES AND ALL CITY OF LAGO VISTA LOCAL CODES AND ORDINANCES.
 - 5) ALL GRADING CUTS TO SLOPE AWAY FROM BUILDING AND/OR BUILT RETAINING WALL.
 - 6) DRIVEWAY SLOPE TO BE 15% MAXIMUM.
 - 7) LANDSCAPING TO BE INSTALL BEFORE FINAL INSPECTION.

PROPERTY OWNER INFORMATION

MR. DAVID ROCHA JR.
1143 D. BERGER
AUSTIN, TEXAS 78721
TEL. (512) 576-2642

BOGGY FORD RD.
(60' R.O.W.)

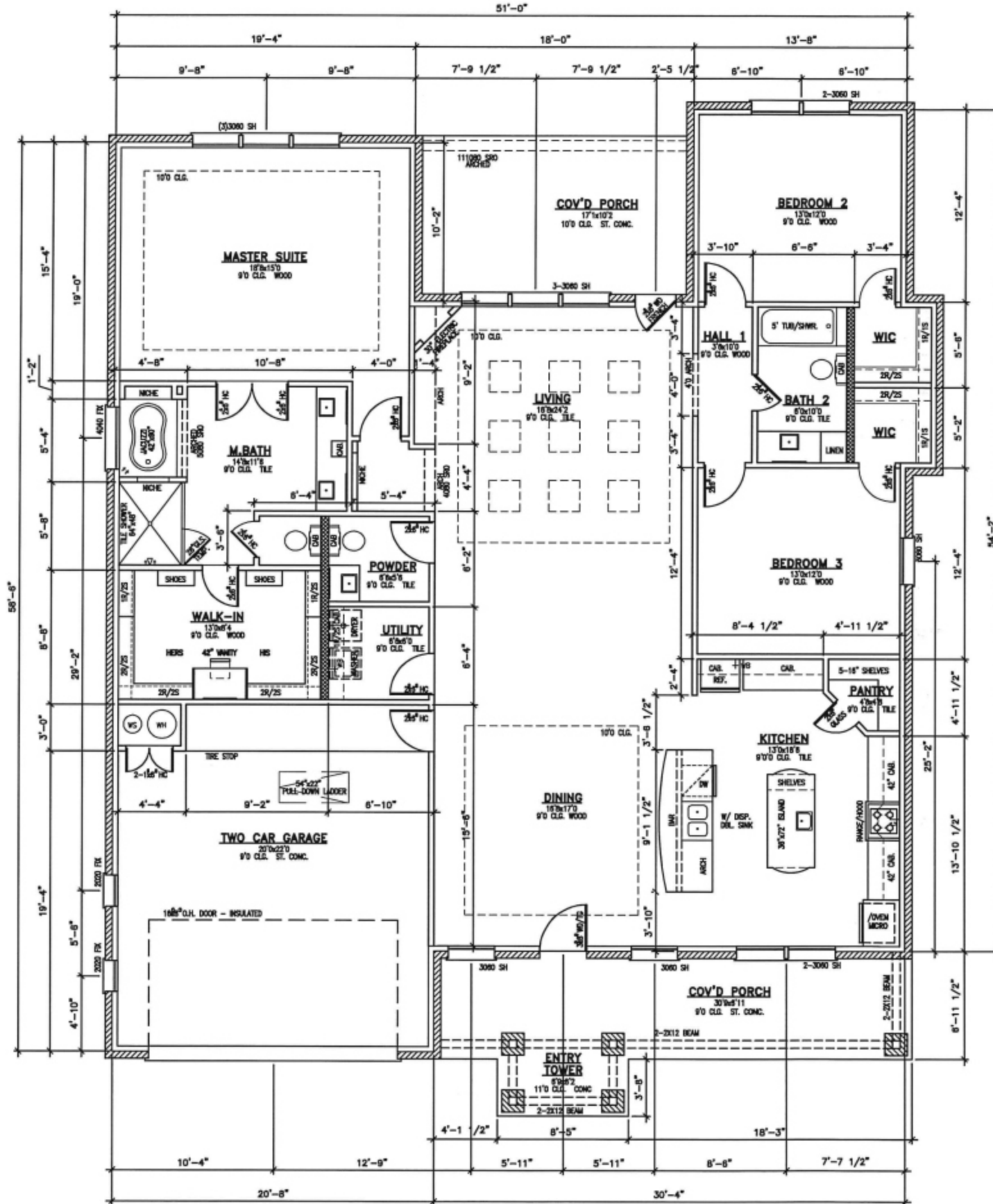
REVISIONS

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Leander, Texas 78645
Site Plan / Landscape Plan

1901 S. IH 36 #218
Austin, Texas 78741
Mobile: 512 884 0211
e-mail: murray_sh@dm.com

DATE: 02/26/2021
SCALE: 1"=20'-0"
DRAWN: MAD
FILE: G:\owner\carron\lake\lago\lot 2128-21
SHEET 1
A0
OF 6 SHEETS



BUILDING COVERAGE	
HEATING/COOLING AREA:	2,300 S.F.
GARAGE:	484 S.F.
COVERED PORCH:	174 S.F.
ENTRY/COVERED PORCH:	228 S.F.
TOTAL BUILDING COVERAGE:	3,186 S.F.

LEGEND	
	6" PLUMBING WALL
	4" INTERIOR WALL
	STONE VENEER WALL

- GENERAL NOTES**
- ALL DIMENSIONS ARE TO FACE OF STUD OR MANSORY UNLESS OTHERWISE INDICATED.
 - WORK SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
 - INTERIOR PARTITIONS ARE 5/8" GYP. BOARD ON 2x4 STUDS @ 16" O.C. UNLESS OTHERWISE INDICATED. IT IS THE CONTRACTORS OPTION TO USE 3-5/8" 25 GA. METAL STUDS IN LIEU OF WOOD.
 - ALL STONE WAINSCOTING TO BE AT 60" A.F.F. STONE COLOR AND TEXTURE BY OWNER.
 - VERIFY CLEARANCES ARE REQUIRED FOR ALL EQUIPMENT PRIOR TO SETTING WALLS.
 - EXTERIOR WALL INSULATION SHALL BE R-15 MINIMUM.
 - ALL CEILING INSULATION SHALL BE R-38 MINIMUM.
 - ALL WINDOWS TO BE LOW-E, DOUBLE PANED INSULATED.
 - FRENCH GLASS EXTERIOR DOOR TO BE LOW-E, DOUBLE PANED INSULATED.
 - ALL EXTERIOR DOORS AND GARAGE DOOR TO BE WOOD OR HOLLOW METAL DOOR AND INSULATED. SELECTION BY OWNER.
 - GARAGE TO BE TEXTURED, TAPED, FLOATED, PAINTED AND INSULATED (WALLS AND CEILING).
 - ALL WALLS SURROUNDING TUB/SHOWER/JACUZZI/UTILITY TO HAVE WATERPROOF GYPSUM BOARD.
 - INSTALL ENERGY EFFICIENT RADIANT BARRIER ROOF DECKING.
 - ALL BATHROOM AND UTILITY SINKS TO BE WHITE PORCELAIN.
 - INSTALL WATER BOXES BEHIND REFRIGERATORS AND WASHER.
 - ALL EXTERIOR FASCIA BOARD AND CONTINUOUS SOFFIT VENT TO BE DURABLE HARDPLANK.
 - DIMENSIONAL FIBERGLASS SHINGLES TO HAVE 30-YEAR WARRANTY. SELECTION BY OWNER.
 - INSTALL STEEL OVERHEAD AT GARAGE DOOR.
 - ALL WOOD CABINERY FINISH TO BE SELECTED BY OWNER.
 - INSTALL TWO HIGH EFFICIENCY 16 SEER WITH PURON A/C SYSTEMS WITH GAS HEATING IN ATTIC.
 - INSTALL 50-GALLON RAPID RECOVERY GAS WATER HEATER.
 - PROVIDE GAS AND 220V ELECTRIC AT DRYER, RANGE AND AHUs.
 - ALL BEDROOMS, DINING, LIVING ROOM, GARAGE, AND COVERED PORCH TO BE BLOCKED AND WIRED FOR CEILING FANS.
 - PRE-WIRE (CAT 5) FOR TELEPHONE IN MASTER, TECH CENTER, GARAGE, BEDROOMS, AND LIVING ROOM. SEE ELECTRIC PLAN.
 - PRE-WIRE (RG6) FOR TELEVISION IN MASTER, TECH CENTER, BEDROOMS, GARAGE, VERANDA AND LIVING ROOM.
 - DECORATOR TWO-TONE PAINT TO BE SELECTED BY OWNER.
 - INSTALL CROWN MOLDING IN DINING, LIVING ROOM, AND KITCHEN. GALLERY AND MASTER SUITE. OWNER TO SELECT TYPE, SIZE AND COLOR.
 - ALL INTERIOR WALLS, ARCHES AND NICHES TO HAVE BULLNOSING.
 - INSTALL TEMPERED GLASS AT SHOWERS.

PLAN NORTH
1 FLOOR PLAN
 SCALE: 1/8"=1'-0"

THESE PLANS MEET ALL REQUIREMENTS FOR THE 2014 NEC, 2012 IRC, AND CITY OF LAGO VISTA ZONING AND BUILDING ORDINANCES.

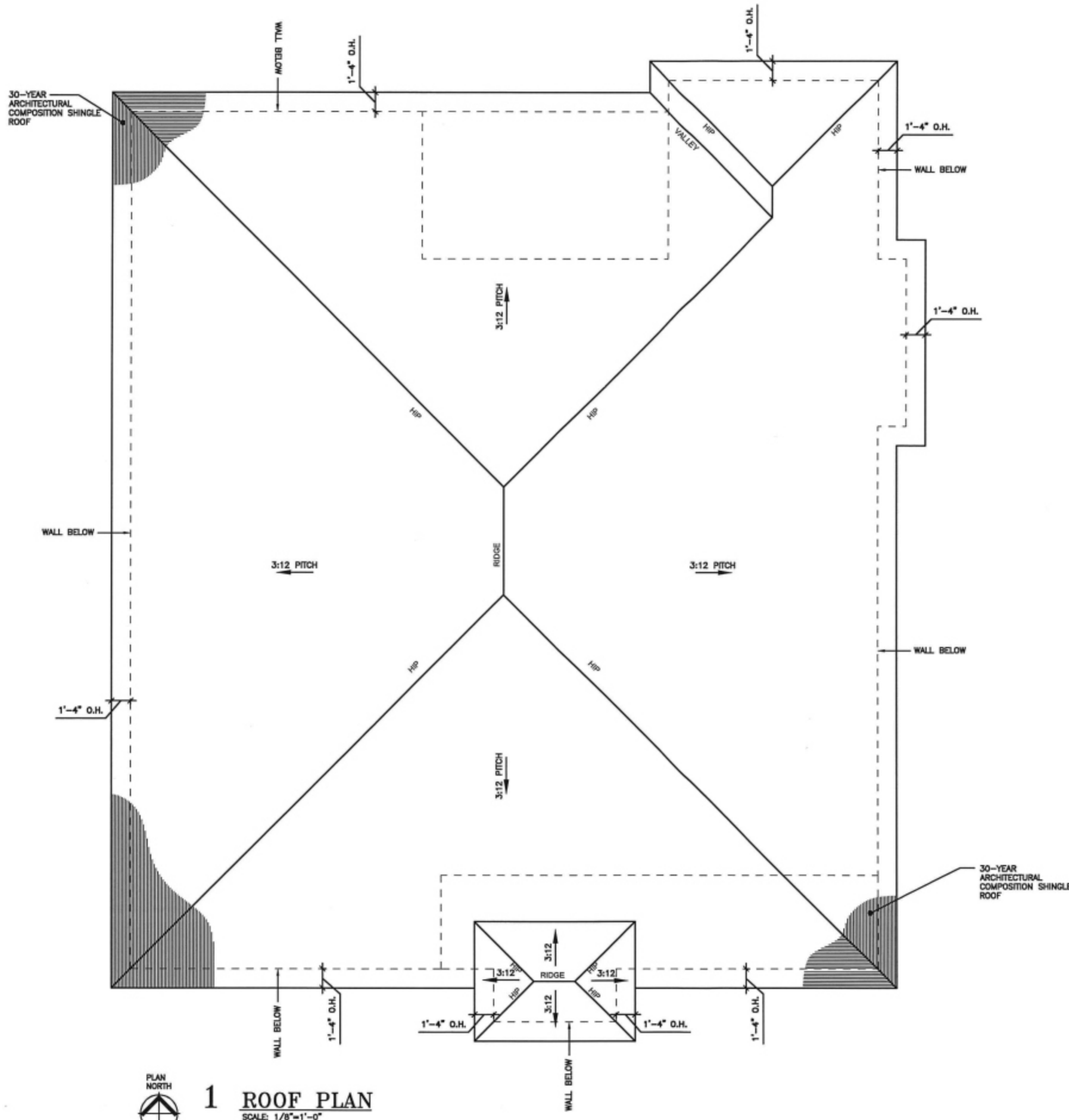
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 Leander, Texas 78645
 Floor Plan

1301 S. IH 35 #516
 Austin, Texas 78741
 Mobile: 512 264 0211
 e-mail: rob@robjacobson.com

design
 construction
 inspections
 building permits

DATE: 2/26/2021
 SCALE: 1/8"=1'-0"
 DRAWN: MAD
 FILE: C:\PROJ\CUSTOM HOME\LEANDER\LOT 218-01
 SHEET 2
A1
 OF 6 SHEETS



1 ROOF PLAN
SCALE: 1/8"=1'-0"

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Roof Plan

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e-mail: rob@robny.com

- * design
- * construction
- * inspections
- * building permits

DATE: 2/26/2021

SCALE: 1/8"=1'-0"

DRAWN: MAD

FILE: c:\proj\custom home\leander\lot 2126-a2

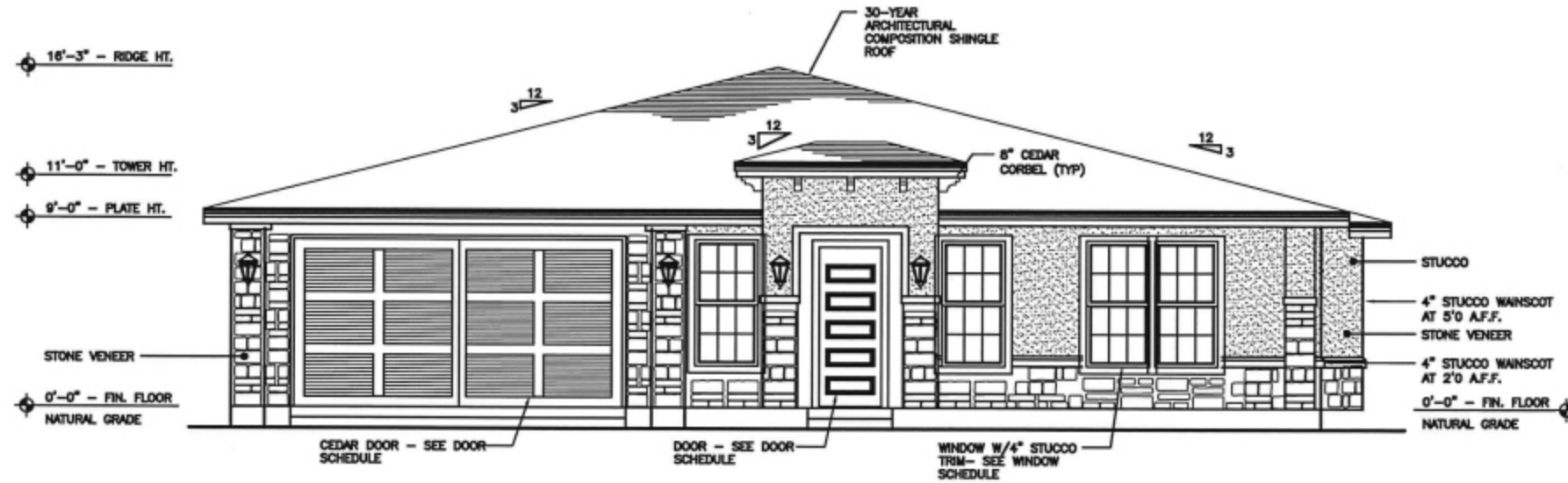
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A2

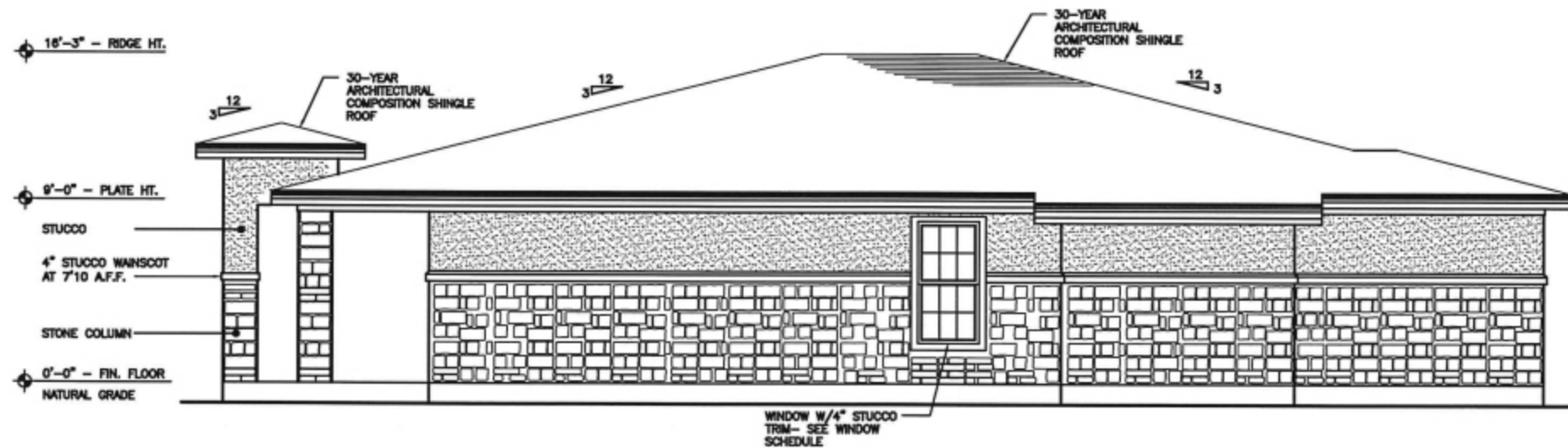
OF 6 SHEETS

REVISIONS

FINISH SCHEDULE	
MATERIAL DESCRIPTION	TYPE / COLOR
STONE VENEER	STONE CUT LIMESTONE, TAN-4",6",8"
STUCCO	MEDIUM TAN
CORBEL	8" CEDAR, MAHOGONY STAINED
GARAGE DOOR	CEDAR PLANKS, MAHOGONY STAINED
EXTERIOR DOORS	WOOD/GLASS, MAHOGONY STAINED



1 FRONT ELEVATION
SCALE: 1/8"=1'-0"



2 RIGHT ELEVATION
SCALE: 1/8"=1'-0"

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e-mail: rdubray-ah@gmail.com

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construction
inspections
building permits

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SCALE: 1/8"=1'-0"

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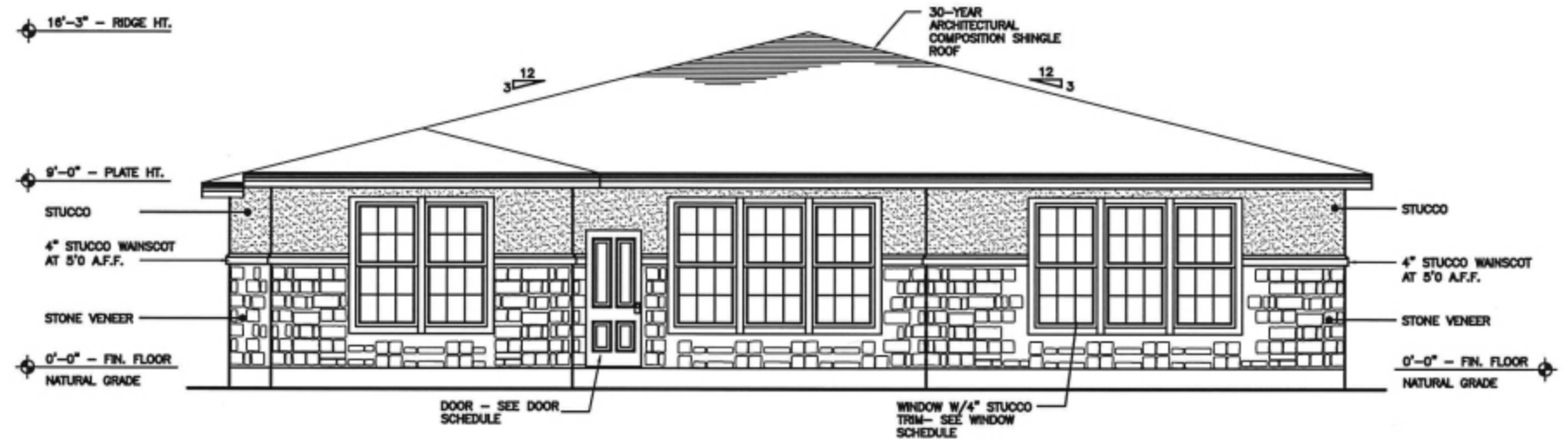
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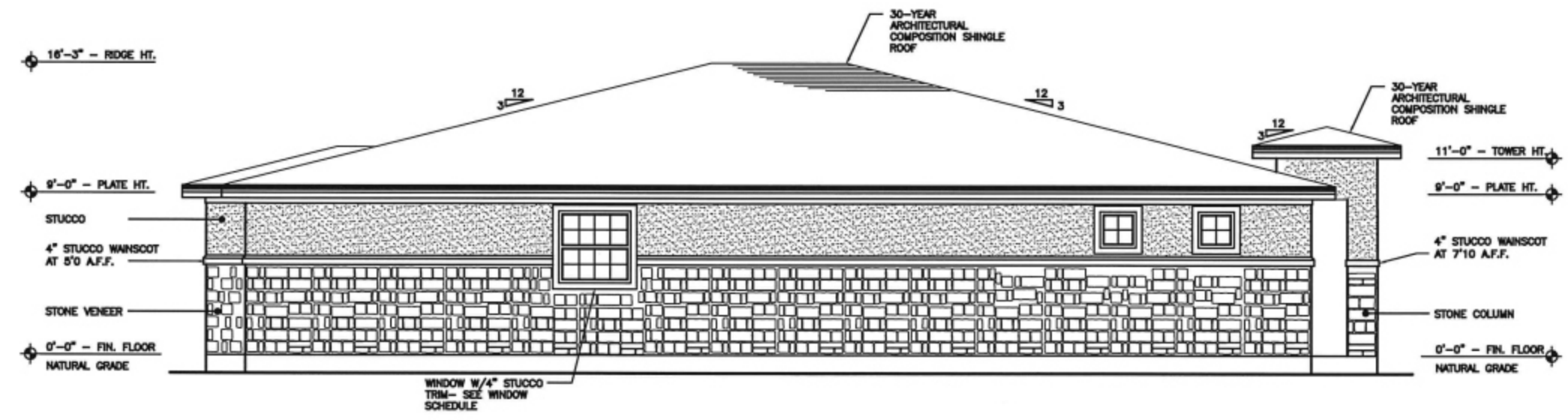
A3

OF 6 SHEETS

FINISH SCHEDULE	
MATERIAL DESCRIPTION	TYPE / COLOR
STONE VENEER	STONE CUT LIMESTONE, TAN-4",6",8"
STUCCO	MEDIUM TAN
CORBEL	6" CEDAR, MAHOOGONY STAINED
GARAGE DOOR	CEDAR PLANKS, MAHOOGONY STAINED
EXTERIOR DOORS	WOOD/GLASS, MAHOOGONY STAINED



1 REAR ELEVATION
SCALE: 1/8"=1'-0"



2 LEFT ELEVATION
SCALE: 1/8"=1'-0"

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- ★ design
- ★ construction
- ★ inspections
- ★ building permits

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SCALE: 1/8"=1'-0"

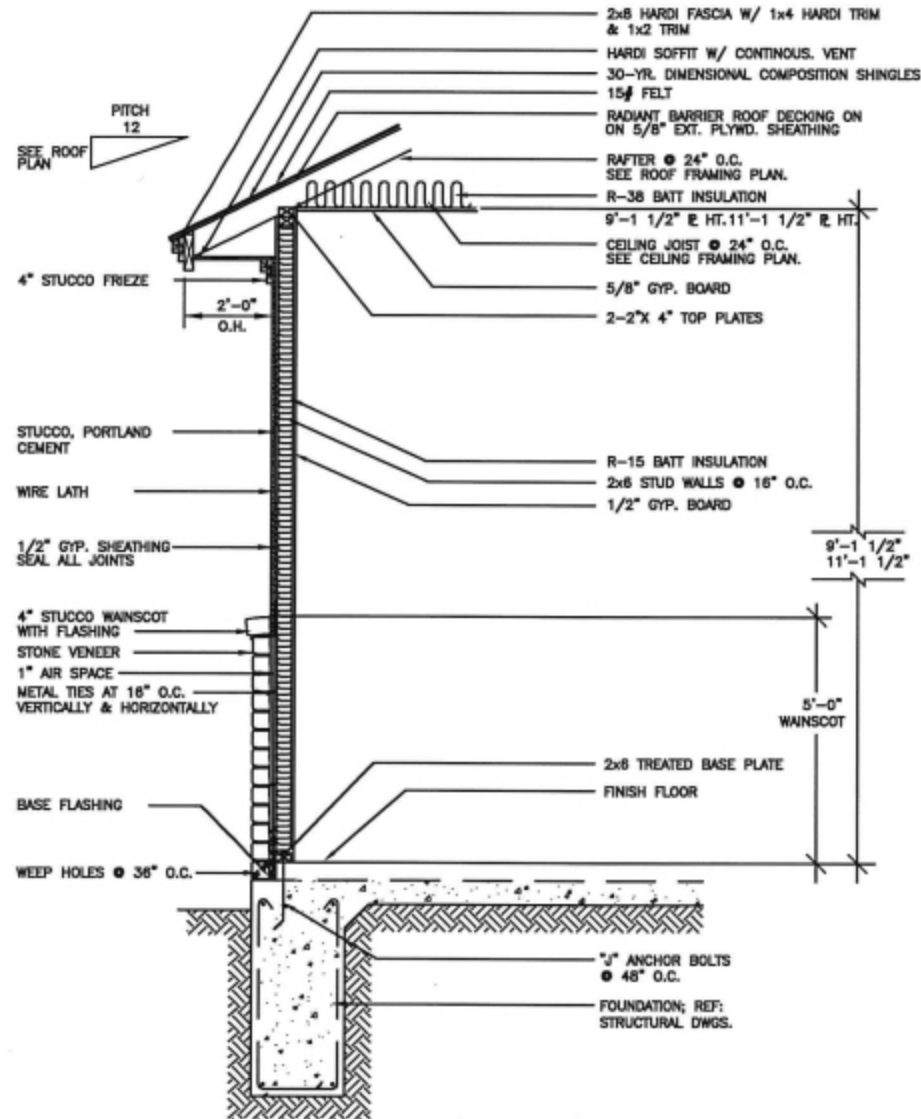
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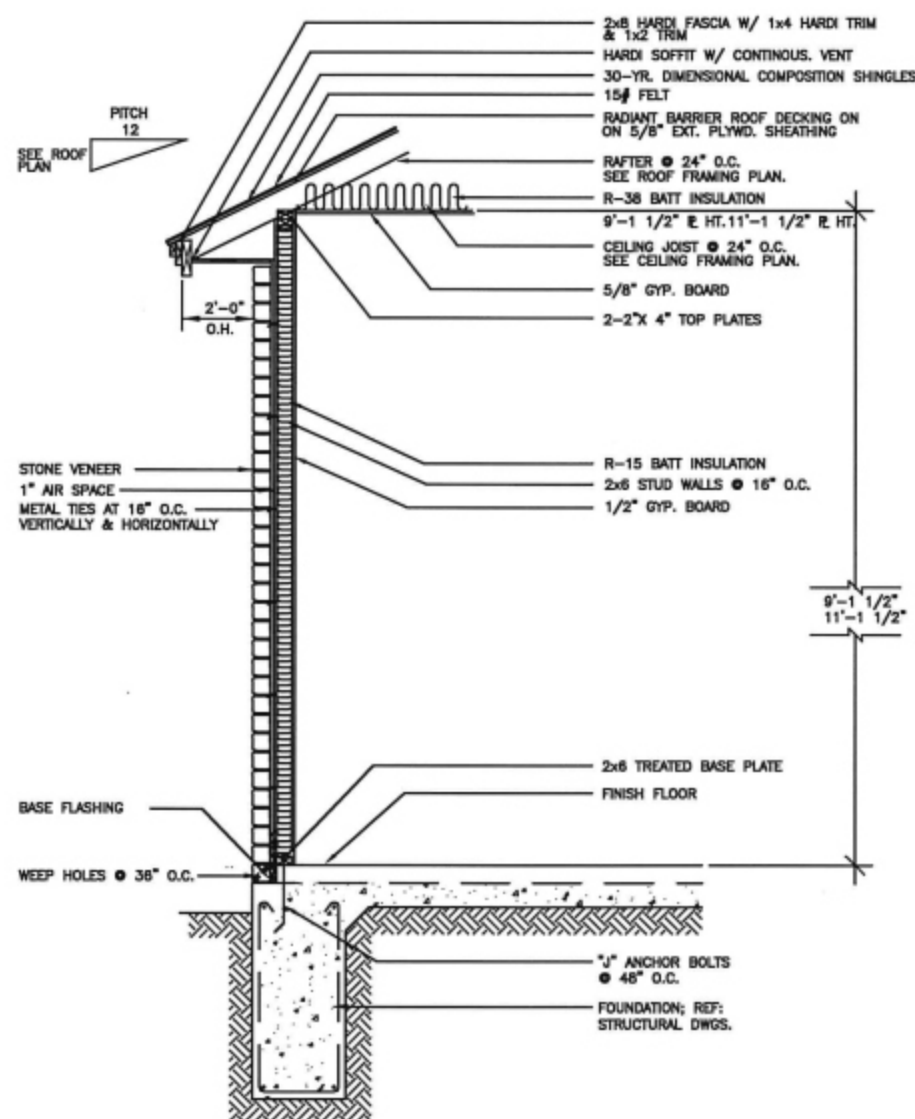
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A4

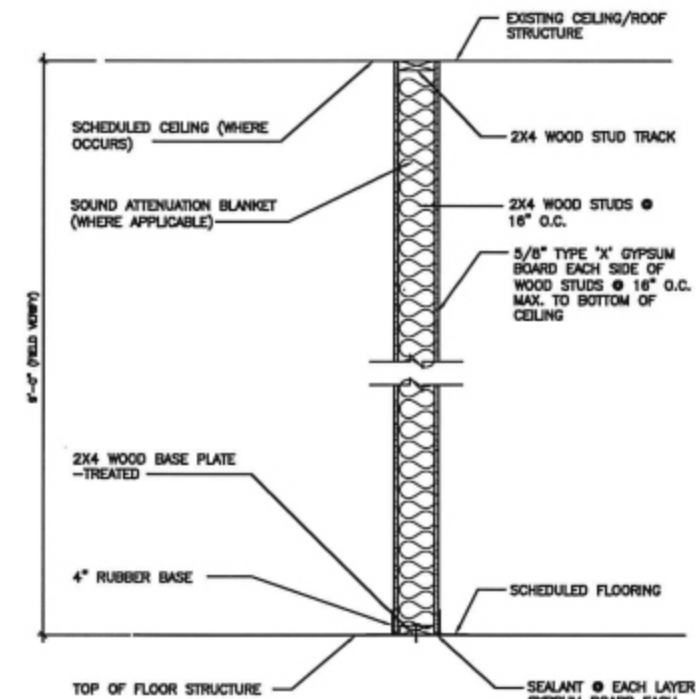
OF 6 SHEETS



1 TYPICAL STUCCO & STONE WALL
 SCALE: 3/8"=1'-0"



2 TYPICAL STONE WALL
 SCALE: 3/8"=1'-0"



3 TYP. INTERIOR WALL TYPE
 SCALE: 3/8"=1'-0"

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 Wall Sections and Details

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 construction
 inspections
 building permits

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 Mobile: 512.294.0211
 e-mail: rmluxury@aol.com

DATE: 2/26/2021

SCALE: 1/8"=1'-0"

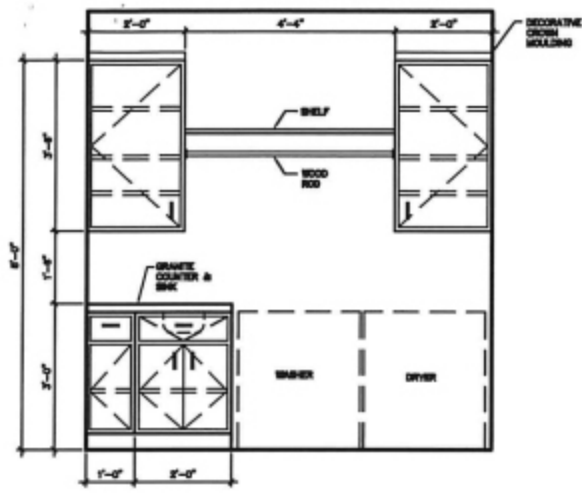
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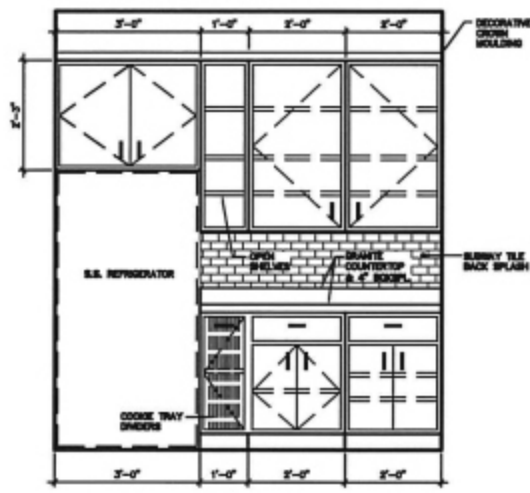
SHEET 5

A5

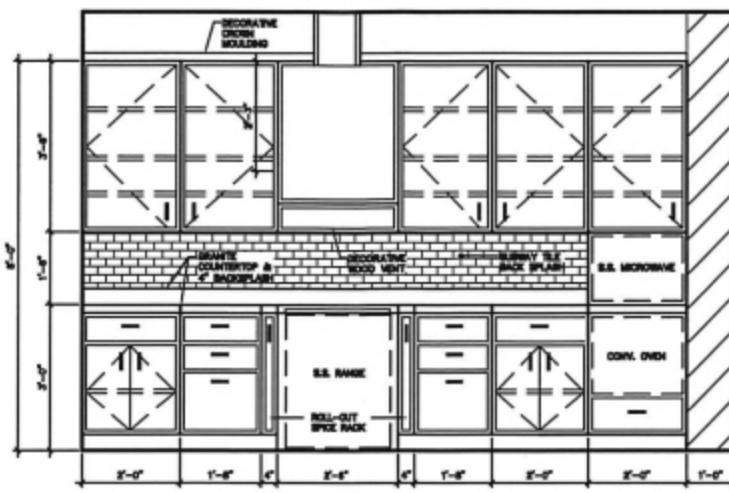
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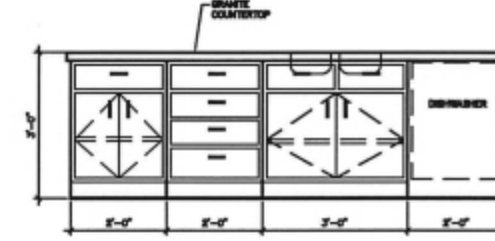
① UTILITY
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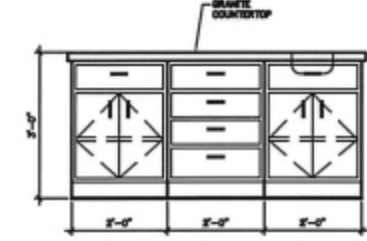
② KITCHEN
SCALE: 3/16"=1'-0"



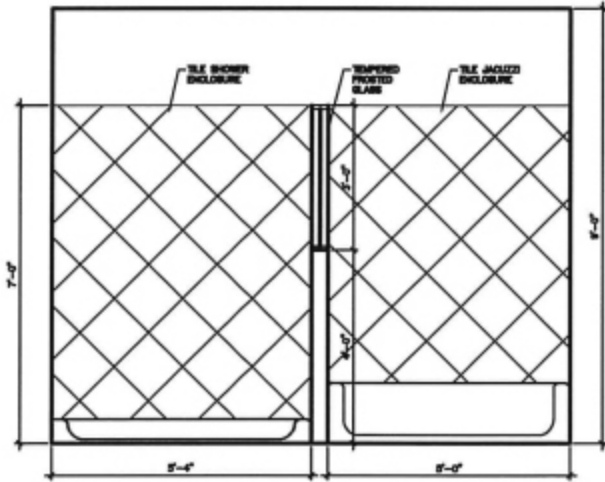
③ KITCHEN
SCALE: 3/16"=1'-0"



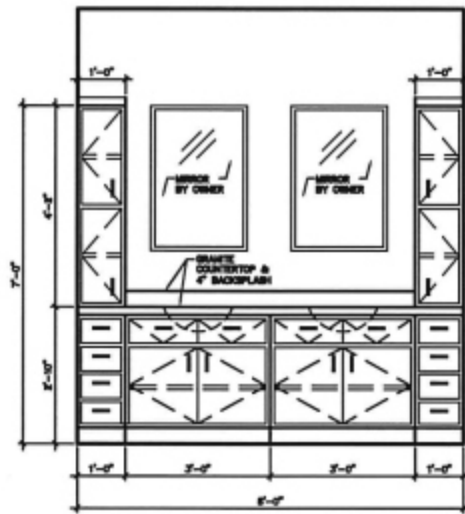
④ KITCHEN ISLAND
SCALE: 3/16"=1'-0"



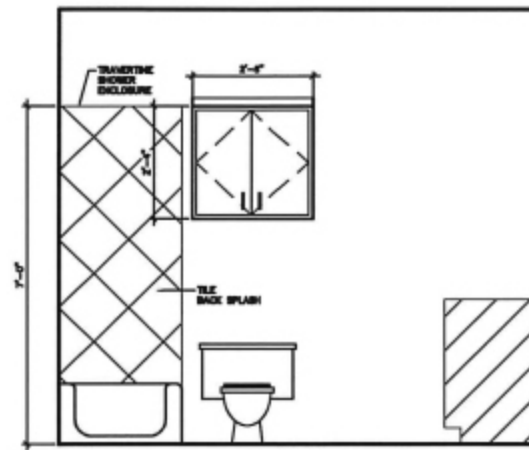
⑤ KITCHEN ISLAND
SCALE: 3/16"=1'-0"



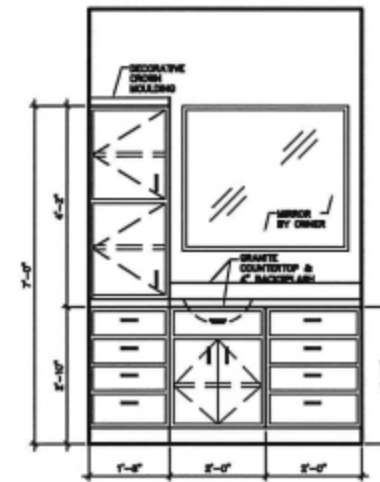
⑥ MASTER BATH
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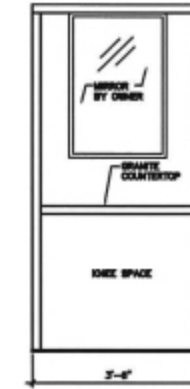
⑦ MASTER BATH
SCALE: 3/16"=1'-0"



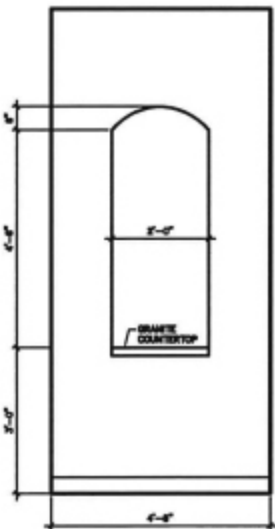
⑧ BATHROOM 2
SCALE: 3/16"=1'-0"



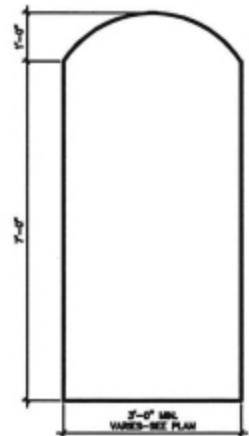
⑨ BATHROOM 2
SCALE: 3/16"=1'-0"



⑩ VANITY
SCALE: 3/16"=1'-0"



⑪ ARCH NICHE
SCALE: 3/16"=1'-0"



⑫ ARCH
SCALE: 3/16"=1'-0"

CABINET NOTES

1. INTERIOR CABINET CONSTRUCTION TO BE MAPLE WOOD. PAINT/STAIN COLOR BY OWNER.
2. CABINET CONSTRUCTION TO BE 3/4" THICK PLYWOOD DOORS, DRAWERS, BOTTOMS, TOPS, WELLS, ETC.
3. ALL DOORS AND DRAWERS TO BE SELECTED BY OWNER.
4. ALL CABINET DEPTH TO BE 24 INCHES, UNLESS OTHERWISE NOTED.
5. CABINET CONTRACTOR TO FIELD VERIFY WALL, ISLAND AND APPLIANCE HEIGHTS, AND ALL OTHER CLEARANCES.
6. INSTALL 1"x4"x1/2" BOARDS AT 24" O.C. HORIZONTALLY ON BACK OF WALL TO HANG CABINETS.
7. PROVIDE NEAR SPACING AT CABINETS FOR APPLIANCE WIRING CONNECTIONS AND OUTLET LOCATIONS.
8. NOT USED.
9. ALL ROLL-OUT TRAYS AND DRAWERS TO BE FULL ROLL EXTENDING.
10. ALL DOOR HINGERS TO BE CONCEALED/HIDDEN "INTEGRATED" HINGERS.
11. ALL CABINET DOORS TO BE SURFACE MOUNTED.
12. ALL DRAWERS CONSTRUCTION TO BE DONE THE SAME AS DOOR INCLUDING CONNECTIONS WITH 1/2" THICK WOOD CONSTRUCTION. WOOD TYPE BY OWNER.
13. ALL DRAWER FRONTS TO BE 3/4" THICK.
14. ADJUSTABLE INCLUDES SUPPORTS TO HAVE MULTIPLE HOLDERS (3 MIN MAX) AT 2" O.C.
15. INSTALL ADDITIONAL SUPPORTS ON ALL ISLANDS AND ISLANDS WIDER THAN 2'-0".
16. ALL GRANITE FRONT AND REAR EDGES TO BE 1/2" ROUND BULLHORN.

REVISIONS

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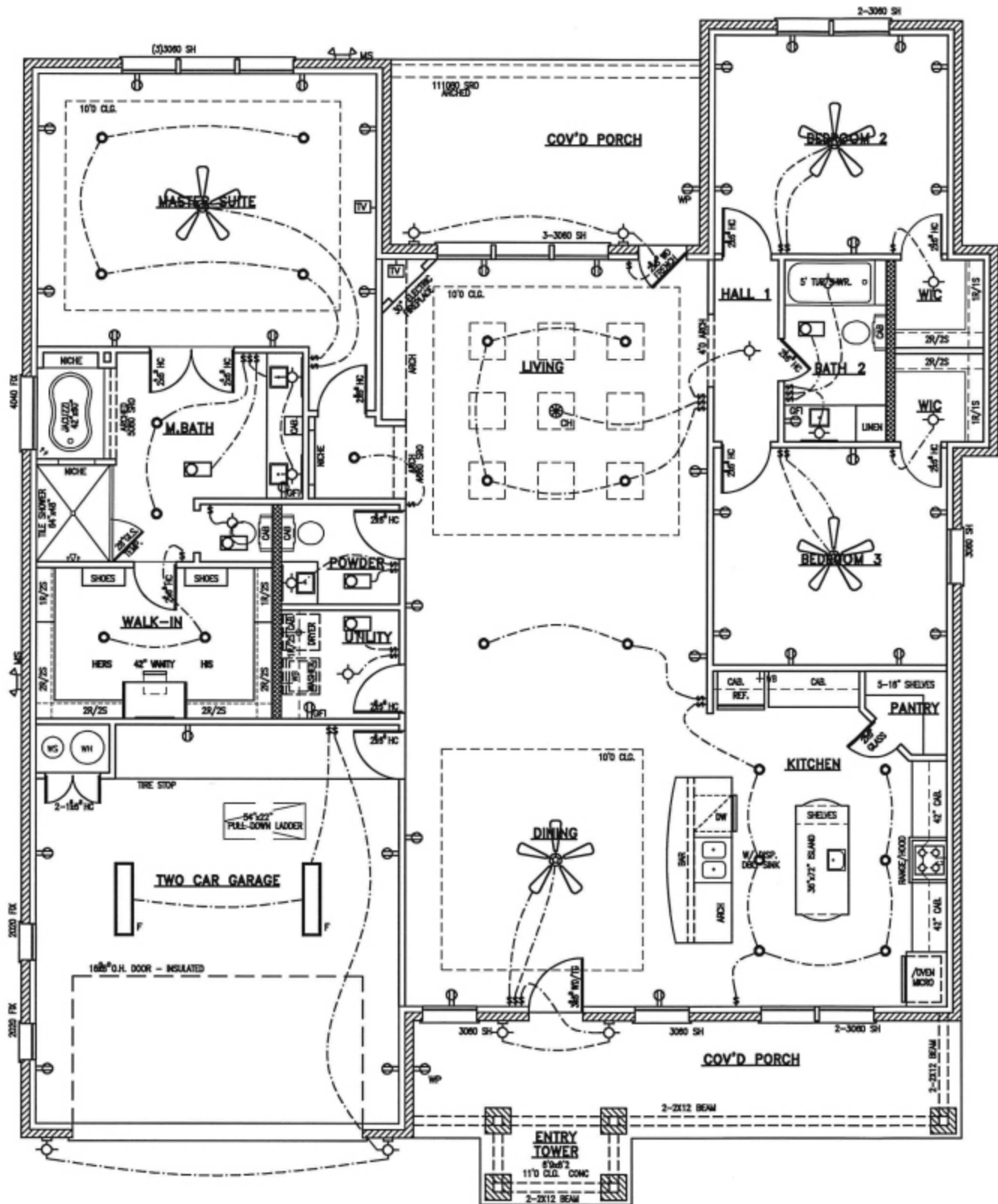
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DATE: 2/26/2021
SCALE: 1/4"=1'-0"
DRAWN: MAD
FILE: c:\proj\custom home\LEANDER\LOT 2128-48
SHEET 6
A6
OF 6 SHEETS



1 ELECTRICAL PLAN
SCALE: 1/8"=1'-0"

LEGEND OF ELECTRICAL SYMBOLS

- PROVIDE WIRING FOR SPEAKER INSTALLATION
- CHIME
- SMOKE DETECTOR
- TELEPHONE JACK
- TV/CABLE OUTLET
- ELECTRIC PANEL
- GAS METER
- 110-120 VOLT RECEPTACLE
- 110-120 VOLT RECEPTACLE WEATHER PROOF
- 110-120 VOLT GFI (44" A.F.F.)
- 110-120 VOLT SURFACE MOUNTED RECEPTACLE
- 220-240 VOLT RECEPTACLE
- RECESSED INCANDESCENT LIGHT
- INCANDESCENT CEILING OUTLET FIXTURE
- INCANDESCENT WALL MOUNTED OUTLET FIXTURE
- FLOOD LIGHT
- MOTION SENSOR FLOOD LIGHT
- CHANDELIER
- ONE-WAY SWITCH
- TWO-WAY SWITCH
- THREE-WAY SWITCH
- ONE-WAY SWITCH WITH DIMMER
- ONE-WAY SWITCH FOR SPEAKER VOLUME CONTROL
- EXHAUST FAN
- HOUSE WIRE CONCEALED IN WALL OR CEILING
- CEILING FAN WITH LIGHT
- 4' FLOURESCENT LIGHT
- DISCONNECT

ALL OUTDOOR ELECTRIC SERVICE TO BE OVERHEAD.

PREWIRE FOR SECURITY SYSTEM.

PREWIRE FOR (CAT 5) FOR ENTIRE HOUSE.

SMOKE DETECTORS TO BE INSTALLED AT 36" MINIMUM FROM ANY AIR RETURN OR SUPPLY.

PREWIRE FOR (RGS) FOR ENTIRE HOUSE.

CONTRACTOR VERIFICATION RESPONSIBILITIES

THIS ELECTRICAL FLOOR PLAN DRAWING IS FOR LAYOUT INFORMATION ONLY. MASTER ELECTRICIAN TO VERIFY NATIONAL ELECTRIC CODE REQUIREMENTS AND MANUFACTURERS' EQUIPMENT REQUIREMENTS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES, OMISSIONS OR INCONSISTENCIES ON THE DRAWINGS TO THE DESIGNER FOR VERIFICATION BEFORE STARTING CONSTRUCTION. OWNER AND DESIGNER ARE NOT RESPONSIBLE FOR ANY ERRORS IN CONSTRUCTION WHERE SUCH DISCREPANCIES, OMISSIONS OR INCONSISTENCIES HAVE NOT BEEN PROPERLY REPORTED IN A TIMELY MANNER. CONTRACTOR TO FIELD VERIFY LOCATION, TYPE, AND SIZE OF EXISTING UTILITIES. CONTACT LOCAL UTILITY COMPANIES FOR EXISTING UTILITY LOCATIONS. CONTRACTOR TO FIELD VERIFY LOCATION, TYPE, AND SIZE OF ALL ONSITE EXISTING UTILITIES.

REVISIONS

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Electrical Plan

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e-mail: rduffy.dg@gmail.com

* design
* construction
* inspections
* building permits

DATE: 2/26/2021

SCALE: 1/8"=1'-0"

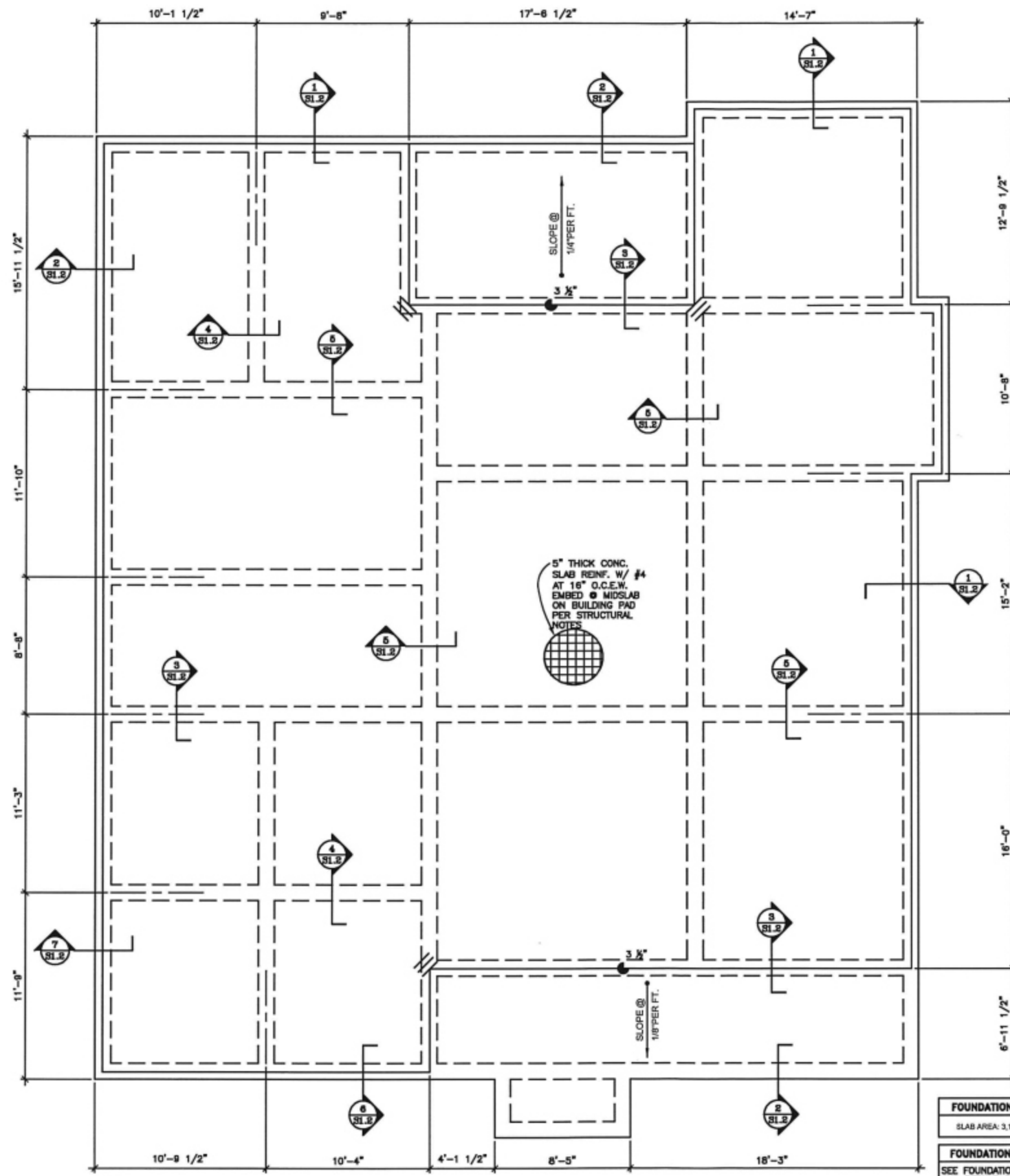
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SHEET 1

E1

OF 1 SHEETS



1 FOUNDATION PLAN
SCALE: 1/8"=1'-0"

FOUNDATION AREA
SLAB AREA: 3,179 S.F.
FOUNDATION NOTES
SEE FOUNDATION NOTES AND DETAILS ON SHEET S1.2.



NOVEMBER 2, 2020

REVISIONS

LOC CONSULTANTS CIVIL DIVISION INC
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20010 Bogy Ford Road
Leander, Texas 78645
Foundation Plan & Details

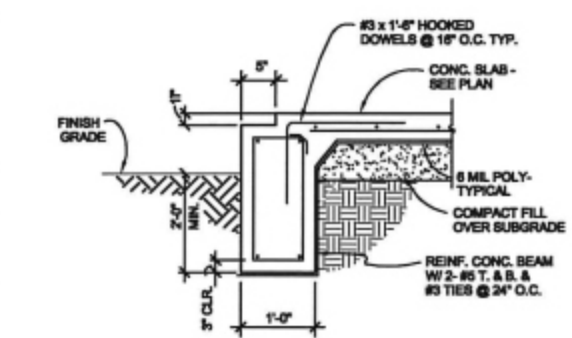
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FILE: C:\WORK\CUSTOM HOME
SHEET 1
S1
OF 5 SHEETS

REVISIONS

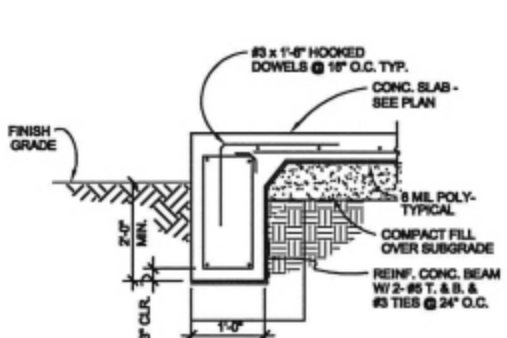
LOC CONSULTANTS CIVIL DIVISION INC
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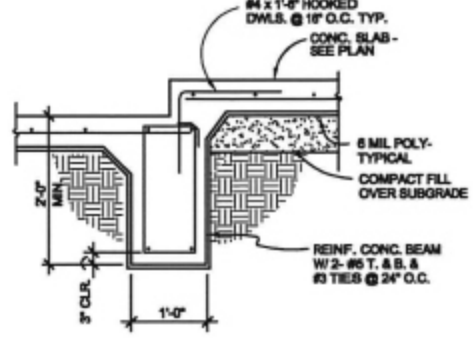
NOVEMBER 2, 2020



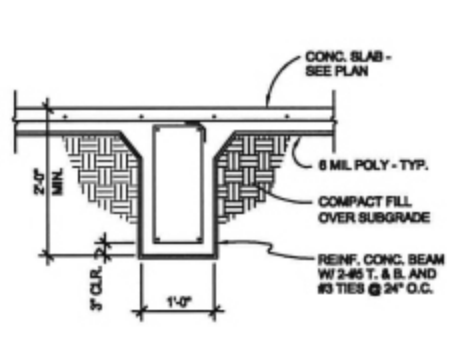
1 SCALE: 8" = 1'-0" (TYPICAL UNLESS NOTED OTHERWISE)



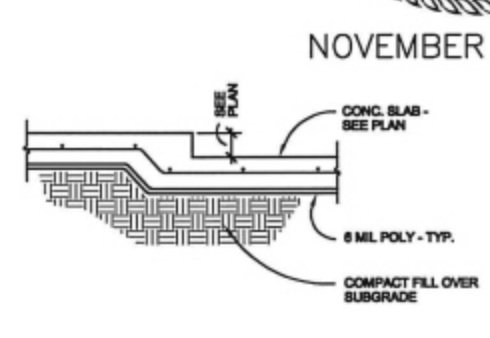
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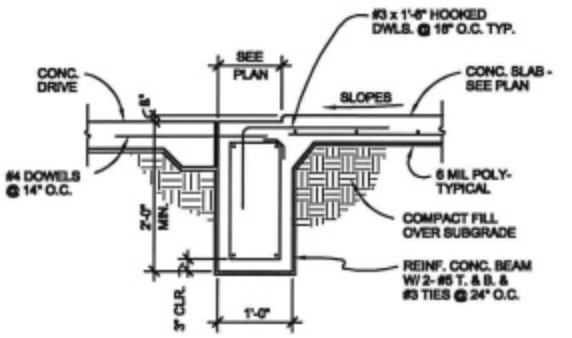
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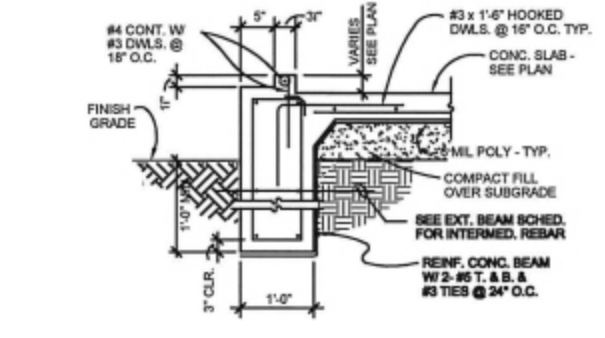
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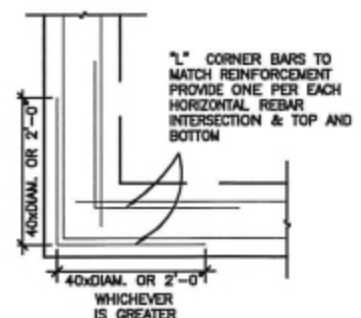
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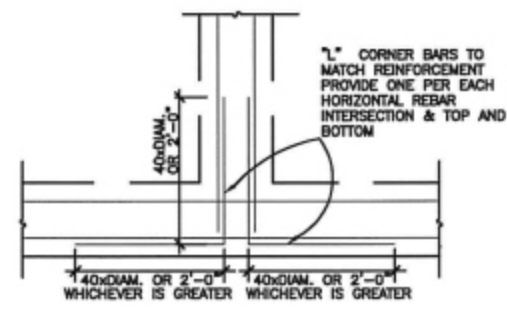


7



TYPICAL GRADE BEAM CORNER CONNECTION DETAIL

8 REBAR DETAIL



TYPICAL GRADE BEAM TEE CONNECTION DETAIL

9 REBAR DETAIL

BUILDING PAD

- I. SITE PREPARATION**
 PRIOR TO PLACING ANY SELECT FILL MATERIAL, REMOVE 0-4" MIN. OF EXISTING SURFACE MATERIAL FOR A DISTANCE OF 2'-0" BEYOND BUILDING LINE. ALL EXPOSED SURFACES SHALL THEN BE SCARIFIED, WATERED AS REQUIRED AND RECOMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DEFINED BY ASTM D 998 (STANDARD PROCTOR TEST) AT A MOISTURE CONTENT WITHIN THREE (3) PERCENT OF THE OPTIMUM MOISTURE VALUE. THE SITE SHALL THEN BE FILLED TO GRADE USING A SUITABLE SELECT FILL MATERIAL, FREE FROM DELETERIOUS MATTER. FILL MATERIALS SHALL BE PLACED IN SIX (6) TO EIGHT (8) INCH LOOSE LIFTS AT MOISTURE CONTENTS WITHIN THREE (3) PERCENT OF THE OPTIMUM MOISTURE VALUE AND EACH LIFT COMPACTED TO BETWEEN 95 AND 100 PERCENT OF THE MAXIMUM DRY DENSITY AS DEFINED IN ASTM D 998. IN THE EVENT THAT FILL IS ENCOUNTERED AT THE SITE, ALL EXTERIOR BEAMS SHALL PENETRATE THROUGH THE FILL AND INTO UNDISTURBED SOIL AS SPECIFIED IN DETAILS OR A MINIMUM OF 1'-0".
- II. SELECT FILL**
 SELECT FILL SHALL HAVE A MAXIMUM PLASTICITY INDEX RANGE BETWEEN 7 AND 20. CRUSHED LIMESTONE WITH SUFFICIENT FINES TO BIND THE AGGREGATE TOGETHER, OR LOW P1 "CRUSHER FINES" OR LIMESTONE SCALPHOS ARE SUITABLE SELECT FILL MATERIALS. SANDY LOAM SHALL NOT BE USED.
- III. FOUNDATIONS INTO ROCK**
 IN THE EVENT THAT ROCK IS ENCOUNTERED AT THE SITE, GRADE BEAM DEPTHS SHALL BE 1'-4" MINIMUM AND PENETRATE 6" INTO THE REMAIND ROCK, OR 3" INTO SOLID ROCK.

CONCRETE

- ALL CONCRETE SHOULD BE STONE AGGREGATE CONCRETE UNLESS NOTED OTHERWISE. MINIMUM CONCRETE COMPRESSIVE STRENGTH WHEN TESTED AT 28 DAYS, SHOULD BE 3000 POUNDS PER SQUARE INCH WITH A MAXIMUM 8" SLUMP.
- CONCRETE FLOOR SLAB SHOULD BE PLACED MONOLITHICALLY WITH BEAMS.
- REINFORCING STEEL SHOULD BE DEFORMED NEW BILLET STEEL BARS IN ACCORDANCE WITH ASTM SPECIFICATION A615 GRADE 60.
- PROVIDE 3-#5 X 4'-0" 1" SHAPED BARS TOP AND BOTTOM AT ALL CORNERS AND "T" INTERSECTIONS OF BEAMS. DEEP BEAMS WITH INTERMEDIATE REBAR SHOULD HAVE 2-#4 X 4'-0" 1" BARS AT ALL CORNERS.
- LAP CONTINUOUS UNSCHEDULED REINFORCING BARS 36 BAR DIAMETERS, UNLESS NOTED OTHERWISE.
- TACK WELDING ON REINFORCING STEEL WILL NOT BE PERMITTED.
- HEAT SHOULD NOT BE USED IN THE FABRICATION OR INSTALLATION OF REINFORCEMENT.
- REINFORCING STEEL COVERAGE SHOULD BE AS FOLLOWS:
 A) GRADE BEAMS - 1 1/2" TOP, 3" BOTTOM, 2" SIDE FORMED, 3" SIDE FORMED AGAINST EARTH
- ALL REINFORCING BARS SHOULD BE SUPPORTED AND TIED AT EVERY OTHER INTERSECTION.
- ANCHOR EXTERIOR WALL BILLET PLATES WITH 1" x 8" ANCHOR BOLTS SPACED AT 48" O.C. MAX AND TWO MINIMUM PER WALL PIECE WITH ONE BOLT AT END OF EACH WALL PIECE.
- PERFORM A THREE DAY CONTINUOUS WET CURE ON ALL CONCRETE SLABS PRIOR TO APPLICATION OF THE CURING COMPOUND PER MANUFACTURER SPECIFICATIONS.

COORDINATION

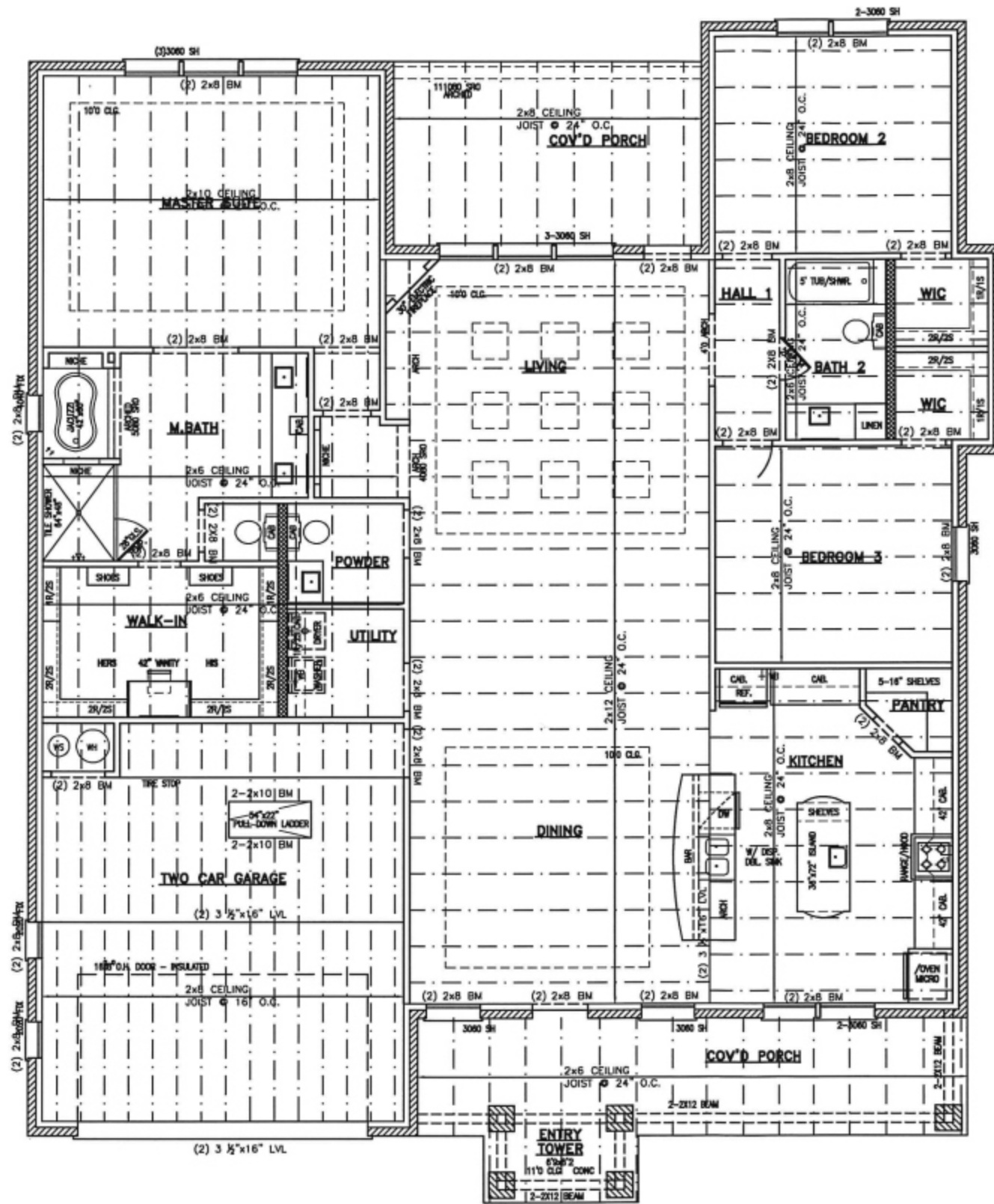
- NO GEOTECHNICAL INFORMATION WAS FURNISHED FOR THIS SLAB DESIGN. THE FOUNDATION SLAB WAS DESIGNED ASSUMING A STABLE SUBGRADE (P.L. 1.25) WITH AN ALLOWABLE BEARING OF 2000 PSF, AS DIRECTED BY THE CLIENT.
 THIS SLAB SHOULD NOT BE USED ON GROUND WHERE THE PLASTICITY INDEX EXCEEDS 20. CONTRACTOR SHOULD VERIFY SLAB WITH THE STRUCTURAL ENGINEER IF EXPANSIVE SOILS ARE SUSPECTED.
- IN THE EVENT THAT FILL IS ENCOUNTERED AT THE SITE, ALL EXTERIOR BEAMS SHOULD PENETRATE THROUGH THE FILL AND INTO UNDISTURBED SOIL AS SPECIFIED IN DETAILS, OR 1'-0" MINIMUM.
- REFER TO ARCHITECTURAL DRAWINGS FOR FLOOR ELEVATIONS, SLOPES, DRAINS, AND LOCATION OF DEPRESSED AND ELEVATED FLOOR AREAS.
- STRUCTURAL SERIES DRAWINGS SHOULD BE COMPARED WITH DRAWINGS OF OTHER SERIES; DIFFERENCES SHOULD BE REFERRED TO THE ARCHITECT OR DESIGNER FOR INSTRUCTION.
- THE FOUNDATION DESIGN MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS OF CHAPTER 28 OF THE UNIFORM BUILDING CODE (UBC) 1994 EDITION AND CHAPTER 3 OF THE CABO ONE AND TWO FAMILY DWELLING CODE 1992 EDITION.

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 Foundation Plan & Details

1301 S. H. 36 #318
 Austin, Texas 78741
 Mobile: 512.954.0211
 e-mail: rturney.dg@gmail.com

design
 construction
 inspections
 building permits

DATE: 11/2/2020
 SCALE: VARIES
 DRAWN: SL/RD
 FILE: G:\PROJECTS\CUSTOM HOME\UNIFORM\LOT 2138-81.3
 SHEET 2
S1.2
 OF 5 SHEETS



HEADER SIZES	
WINDOWS:	(2) 2x8
DOORS:	(2) 2x8

CEILING JOISTS SPAN CHARTS & NOTES

MAXIMUM CLEAR SPAN FOR CEILING JOISTS LIMITED ATTIC STORAGE			
SIZE	24" O.C.	16" O.C.	12" O.C.
2x6	10'-10"	13'-1"	15'-2"
2x8	14'-3"	17'-3"	19'-11"
2x10	18'-3"	22'-1"	25'-5"

FOR MATERIAL WITH E=1.6 Fb=1400 i.e. #2 KDYP
DESIGN LOADS 20 pcf LIVE 10 pcf DEAD

- NOTE:
- UNLESS NOTED OTHERWISE: ALL JOIST TO BE #2 KDYP.
 - UNLESS NOTED OTHERWISE: ALL BEAMS TO BE #2 KDYP.
 - UNLESS NOTED OTHERWISE: FRAMING UNDER HVAC TO BE 2x8's @ 16" O.C. WITH 3/4" PLYWOOD DECKING AS REQUIRED. PROVIDE 36" WIDE CATWALK FROM STAIRCASE.
 - BUILDER TO VERIFY SIZING AND SPACING OF JOIST AND BEAMS PRIOR TO CONSTRUCTION.
 - UNLESS NOTED OTHERWISE: ALL JOIST AT HALL # 1 AND #2 TO BE 2x6's AT 16" O.C. WITH NO ATTIC STORAGE.



NOVEMBER 2, 2020

REVISIONS

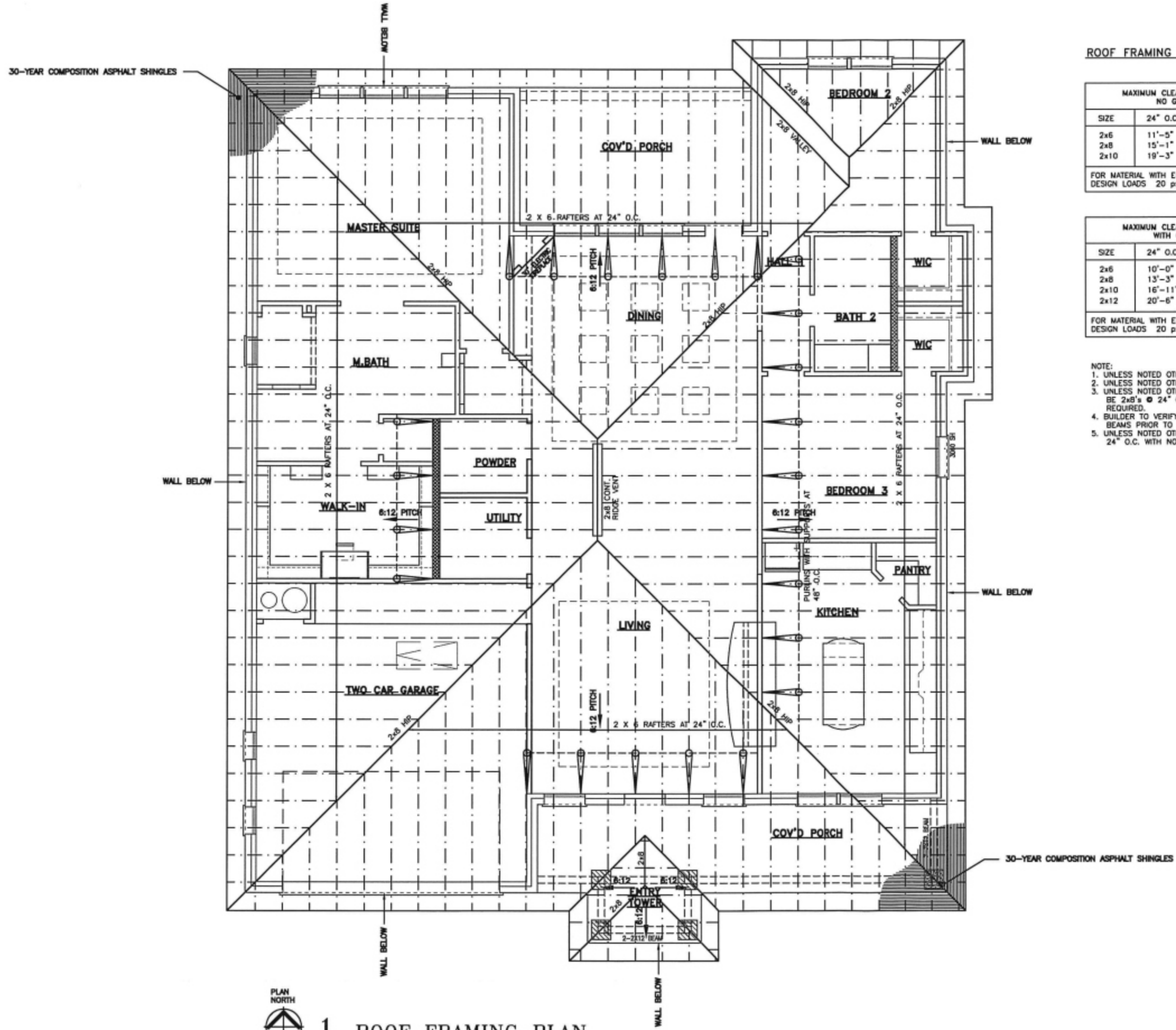
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Roof Framing Plan

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design
construction
inspections
building permits

DATE: 11/2/2020
SCALE: 1/8"=1'-0"
DRAWN: RD/SL
FILE: G:\WORK\CUSTOM HOME\LEANDER LOT 8138-02
SHEET 3
S2
OF 5 SHEETS



1 ROOF FRAMING PLAN
SCALE: 1/8"=1'-0"

ROOF FRAMING SPAN CHARTS & NOTES

MAXIMUM CLEAR SPAN FOR RAFTERS NO GYPSUM BOARD			
SIZE	24" O.C.	16" O.C.	12" O.C.
2x6	11'-5"	14'-0"	16'-2"
2x8	15'-1"	18'-5"	21'-4"
2x10	19'-3"	23'-7"	27'-2"

FOR MATERIAL WITH E=1.6 Fb=1400 I.e. #2 KDYP
DESIGN LOADS 20 psf LIVE 7 psf DEAD

MAXIMUM CLEAR SPAN FOR RAFTERS WITH GYPSUM BOARD			
SIZE	24" O.C.	16" O.C.	12" O.C.
2x6	10'-0"	12'-4"	14'-2"
2x8	13'-3"	16'-3"	18'-9"
2x10	16'-11"	20'-8"	23'-11"
2x12	20'-6"	25'-2"	29'-1"

FOR MATERIAL WITH E=1.6 Fb=1400 I.e. #2 KDYP
DESIGN LOADS 20 psf LIVE 15 psf DEAD

- NOTE:
1. UNLESS NOTED OTHERWISE: ALL JOIST TO BE #2 KDYP.
 2. UNLESS NOTED OTHERWISE: ALL BEAMS TO BE #2 KDYP.
 3. UNLESS NOTED OTHERWISE: FRAMING UNDER HVAC TO BE 2x8's @ 24" O.C. WITH 3/4" PLYWOOD DECKING AS REQUIRED.
 4. BUILDER TO VERIFY SIZING AND SPACING OF JOIST AND BEAMS PRIOR TO CONSTRUCTION.
 5. UNLESS NOTED OTHERWISE: ALL JOIST TO BE 2x6's @ 24" O.C. WITH NO ATTIC STORAGE UNLESS NOTED.



NOVEMBER 2, 2020

REVISIONS

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Roof Framing Plan

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* design
* construction
* inspections
* building permits

DATE: 11/2/2020
SCALE: 1/8"=1'-0"
DRAWN: RD/SL
FILE: G:\Users\RD\Documents\HOME LEANDER\LOT 2186-03
SHEET 4
S3
OF 5 SHEETS

